

## II. Plan Elements

### A. Land Use and Economic Development

This plan is about the Roosevelt neighborhood and how it will shape its growth during the next twenty years. This section describes land use strategies for directing future growth and the economic development strategies.

#### Vision:

Roosevelt is an attractive and diverse community. New developments are to be designed to augment the neighborhood's special small building character and to augment and strengthen a vibrant business district.

#### Existing Conditions:

Existing land uses in Roosevelt are characterized by the following:

- The majority of commercial and retail uses are concentrated along Roosevelt Way NE and NE 65th Street. Those uses include a variety of services, destination retail, and restaurants. The neighborhood's commercial node is centered at Roosevelt Way NE and NE 65th Street. This area is also the core of the neighborhood's highest intensity zoning (NC3-65) and the P2 Pedestrian Overlay zone (which promotes pedestrian-oriented storefront commercial uses and limits parking). A smaller, more auto-oriented commercial node is centered at NE 65th Street and 15th Avenue NE.



Figure 3: Roosevelt's Commercial Core

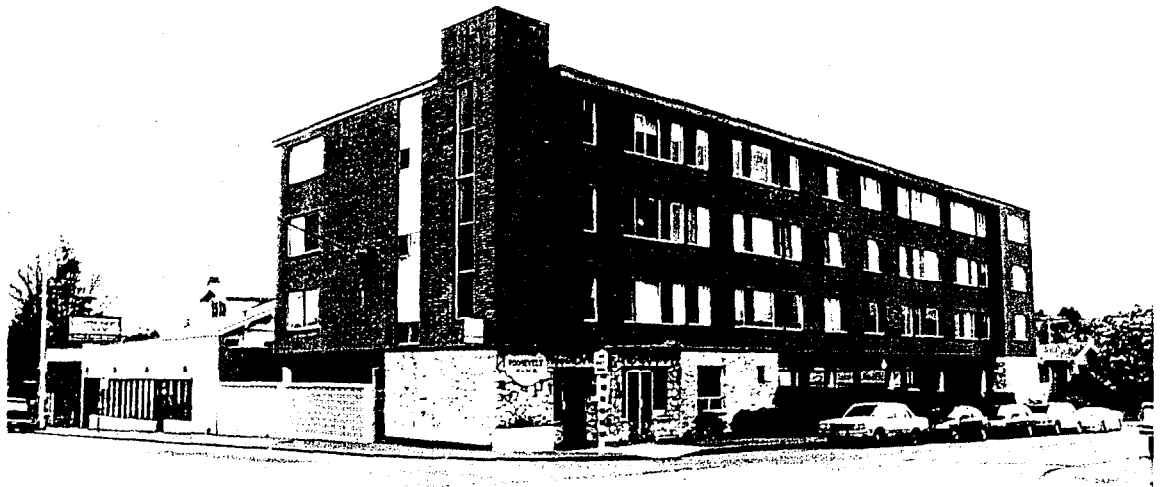


Figure 4: Mix of Multifamily, Commercial, and Single-Family on Rodsevelt Way NE

- Surrounding the commercial core and extending north and south along Roosevelt Way NE and west along NE 65th Street is a mix of commercial and multifamily residential uses. This area includes some older single-family homes on sites zoned for multifamily or commercial uses. Many of these single family homes have been converted to boarding homes, with up to eight unrelated people legally renting rooms. Many of these boarding homes have been allowed to deteriorate, creating a significant negative impact on the neighborhood.
- Surrounding these areas are the neighborhood's single-family residential uses.



Figure 5: Transition Between Single-Family and Multifamily Housing

## Land Use Transitions and Building Heights

---

### Goal:

The goal of the Roosevelt neighborhood is to maintain its single-family architectural character and scale. New construction should respect and reflect these qualities.

### Issues:

There are several areas in the district where Neighborhood Commercial (NC) zoning, with 65-foot height limits, directly abuts single-family or low-density multifamily zoning with 25- to 35-foot height limits. (See Figure 5.)

### Recommendations

- **Design Guidelines.** Develop neighborhood-based design guidelines that encourage new developments to step down in height at transitions between commercial and residential zones. (See Urban Design, page 32, and Appendix 1.)
- **Overlay Zoning.** To provide stronger protection for residential uses adjacent to commercial zones, overlay zoning to require the transitions encouraged by design guidelines should be studied during Station Area Planning, or earlier if it is delayed.
- **Upzoning.** Upzoning some low-density multifamily areas to provide a transitional height zone between the NC zones and low-scale residential uses was studied. L3 zoning was considered for two areas along the west edge of the commercial core to create a transitional height between the NC3-65 zone and adjacent L2, L1, and LDT zones. Similarly, a L2/RC zone at the northwest corner of NE 12th Street and 63rd Avenue NE, which is surrounded by LC3-65 zoning, was considered for a rezone to NC2-40 to provide a transition buffer abutting the commercial core. (See Figure 6.) Due to community feedback and the uncertainty of light rail station construction schedule and location, Tomorrow's Roosevelt chose to defer the first two up-zones for further study under Station Area Planning, or earlier if Station Area Planning for Roosevelt is delayed. The last up-zone was included, along with the neighboring parcel described below, as a potential contract or project rezone (see Figure 9).
- **Downzoning.** Rezoning the NC3-65 area in the center portion of the north side of NE 63rd Street between 12th and Roosevelt, directly across the street from an NC2-40 and directly adjacent to a L2/RC zone, to NC2-40 was studied. The site is currently in residential use, with single-family structures consistent with those in the adjacent L2/RC zone. Rezoning this area would create a consistent, continuous transitional buffer around the commercial core. (See Figure 6) In spite of strong community support for this downzone (and downzoning in general), all of the property owners in this area were opposed, so the recommendation was changed to include this parcel with the adjoining parcel described above in a potential contract or project rezone (see Figure 9).

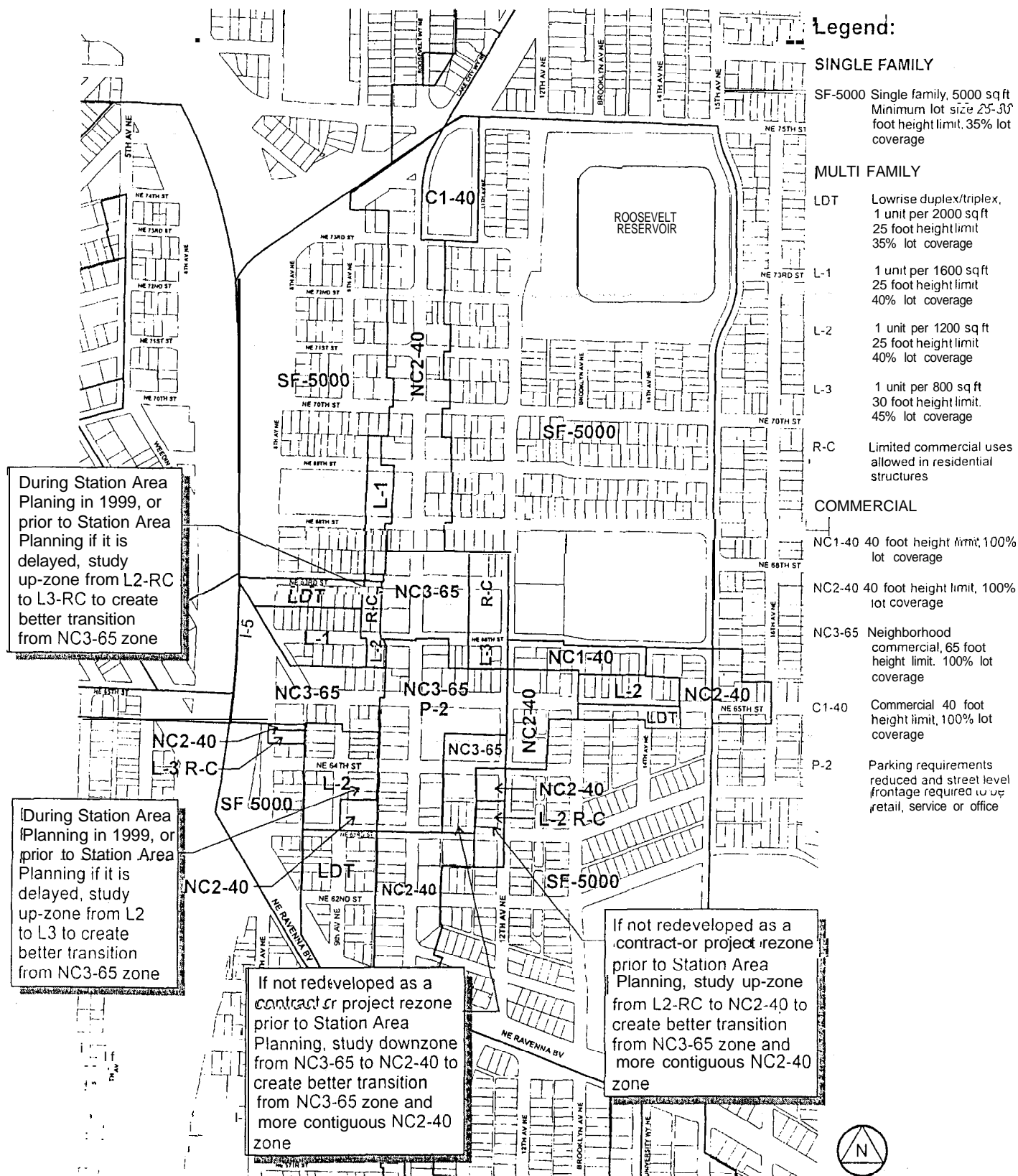


Figure 6: Rezones at Transition Areas

## Housing

---

### Goals:

1. Protect and preserve the neighborhood's single-family character while accommodating the 25% increase in housing units expected in the next twenty years.
2. Develop a range of strategies to help encourage housing opportunities for a wide range of residents.
3. Support the adoption of Roosevelt Design Guidelines for commercial and multifamily projects. Provide guidelines where local design review can be used to encourage housing that is consistent with the neighborhood's existing architectural character.
4. Increase awareness of the need for housing maintenance (for both owner and non-owner-occupied units) to improve neighborhood appearance and image.

### Vision:

The Roosevelt neighborhood wishes to maintain the wide range of housing and family types needed to support an eclectic and diverse neighborhood. The community's wish is to have existing housing, particularly single-family homes, retained as well-maintained, owner-occupant housing. Newer housing would be predominantly multifamily structures designed to accommodate a range of incomes. In all cases, the housing would be designed to fit the scale and architectural character of the neighborhood. The neighborhood also wishes to encourage extended families and families with children to live here by providing larger housing units with ample open space for play.



Figure 7: Multifamily Housing on Roosevelt Way NE

## Issues:

Roosevelt currently has a range of housing opportunities, from inexpensive rooming houses catering to UW students to high-quality single family homes. There is a strong neighborhood desire to retain and enhance its existing single-family areas and integrate new housing into the neighborhood. The housing issues facing Roosevelt include:

### ■ Type and Integration of New Housing

While there is ample zoned capacity to meet anticipated housing growth, there is considerable interest in architecturally integrating new housing construction into the neighborhood.

### ■ Housing Affordability Concerns

Concerns about the affordability of neighborhood housing include:

- The loss of affordable low- and middle-income housing to rising real estate values.
- The lack of new housing starts targeting low- and moderate-income residents.
- The City's Comprehensive Plan suggests a goal of 25% low- and low/moderate-income housing. The City has no regulatory authority to achieve this goal and is instead working with neighborhoods on incentives. There is a concern that the lack of affordable housing programs could leave renovating existing single-family homes to multiple-occupant status or allowing the existing housing to deteriorate as the main options available for supplying low-cost housing.

### ■ Maintenance

Housing condition and maintenance of the existing housing stock in Roosevelt are major concerns. These concerns include:

- The speculative purchase of existing single-family housing for rental purposes, with the ensuing lack of neighborhood commitment characteristic of non-owner, transient residents.
- The appearance of unmaintained housing and its impact on the neighborhood's image.



Figure 8: Single-Family Housing on Edge of Commercial Zone

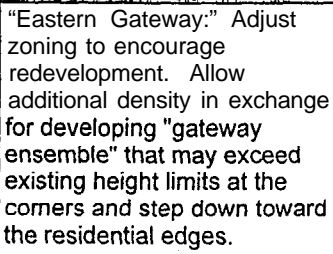
## Recommendations:

- **Code Enforcement.** Support enforcement of building and housing code requirements to identify violations and bring them into compliance. Encourage and organize renters and local residents to identify and monitor the upgrading of poorly maintained properties.
- **Working with Landlords and Owners.** Develop strategies to work with landlords and absentee owners to promote the voluntary upkeep of local properties. Work with landowners and local community groups to institute a neighborhood-wide voluntary maintenance plan.
- **Home Ownership and Maintenance Program.** Develop a program to support home ownership and maintenance. This program could help seniors remain in their homes longer, and encourage better maintenance by others.
- **Redevelopment.** Promote strategies to encourage redevelopment. Several under-utilized areas in Roosevelt could accommodate new housing (see Figure 9). Some large surface parking lots and property zoned for low-rise multifamily and occupied by run-down houses could be considered for redevelopment. The neighborhood is interested in working with nonprofit and for-profit developers to initiate housing and mixed-use pilot projects that provide affordable and market-rate housing. Contract zoning (described below) is another strategy that could be used to promote redevelopment.
- **Contract Zones.** Investigate contract zoning and development incentives that will encourage redevelopment of key parcels in conformance with community design principles (see Figure 9). Developers could apply for contract rezones meeting these design principles, or the community could develop contract rezone proposals to provide property owners an incentive to redevelop. These housing improvement incentives would be guaranteed upon receipt of a valid building permit. The property would revert to the original zoning if the permitted project were not constructed within a three-year period.

The contract zoning incentives could include:

- a. Allowing duplex units to be constructed on two small existing single-family lots, where current zoning does not allow this configuration.
- b. Allowing zoning areas between 12th Avenue and the freeway with RSL zoning to undertake small lot development and tandem housing projects when the developer agrees to the community's design review process.

These objectives might also be achievable through a demonstration design review project that would allow design departures for height and density in exchange for community design principles.





#### ■ Other zoning changes

- a. Upzones in selected residential zones bordering commercial areas to create transition zones that soften building scale changes between these zones were studied. (See Figure 6, page 19.) Due to community feedback and the uncertainty of light rail station construction schedule and location, these upzones have been deferred for further study prior to light rail station construction.
- b. Support zoning between 70th and 75th that allows single-purpose residential construction in the NC2-40 zone along Roosevelt Way NE. (See Figure 11.)

#### ■ Land Purchase and Development

- a. Develop a partnership between the Roosevelt Chamber of Commerce, the Roosevelt Neighborhood Association, and an existing community development corporation (like CHHIP or SHRUG) to purchase and redevelop properties in a way that accommodates the neighborhood's housing and commercial visions. This would have the benefit of increasing the supply of quality low- and low/moderate-income housing in the community.
- b. Work with banks, real estate agents, existing local residents and nonprofit groups to develop a housing purchase trust with a \$1 million line of credit. Use this line of credit to purchase housing that would normally go to speculative investors, with the intent of reselling the properties to qualified *owner-occupant* buyers.

- Ombudsman. Establish a Neighborhood Ombudsman to help resolve conflicts, work with City departments and officials, and help monitor and oversee implementation of the plan's housing element (see also Community Safety and Livability).

## Corn mercial Core

---

### Goal:

Improve the image, vitality, and economic performance of the business district.

### Vision:

Create a viable, vibrant commercial core that retains its small-town scale and character, and is the focus of neighborhood retail and commercial development. Also work to develop a marketable Roosevelt identity for the business core.

### Issues:

While there is a strong desire to maintain the small-town character of the commercial core, there is capacity for growth. The neighborhood also recognizes that local businesses can assist and benefit from efforts to strengthen Roosevelt's identity. Projects that promote the local neighborhood and increase awareness of Roosevelt as a pedestrian-friendly business district will benefit both individual businesses and the neighborhood.

The existing retail center has a solid core of commercial uses fronting on the sidewalk, with relatively few intervening uses or parking lots. (See Figure 10.) This provides a good foundation for a vital pedestrian-oriented retail core.

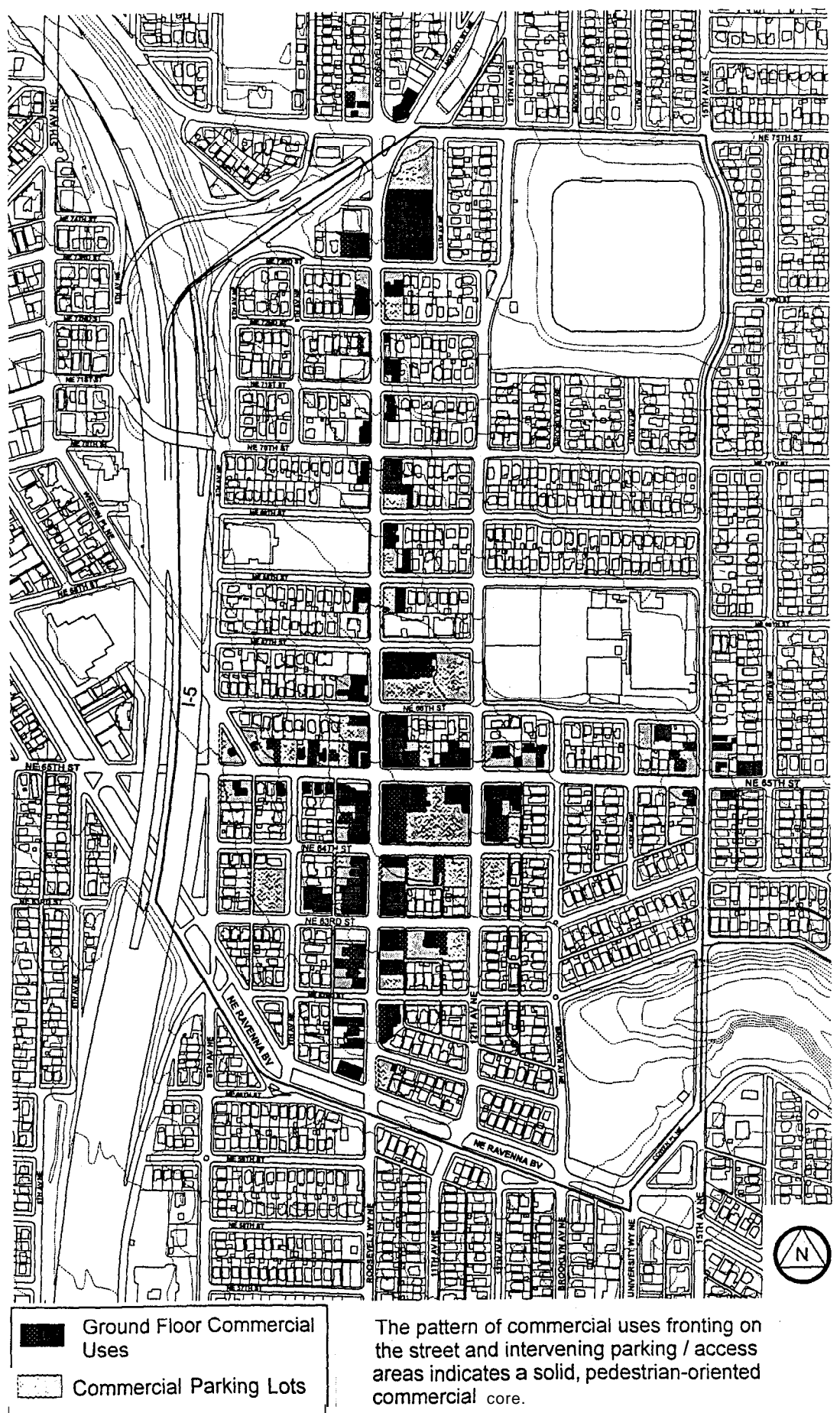


Figure 10: Street-Level Commercial Uses and Parking

## **Zoning Recommendations:**

The community is generally in favor of mixed-use development in the business core, including both housing or offices above retail, with new lowrise housing on the fringes of the commercial core. Two adjustments in the current zoning will help promote a vital, pedestrian-oriented business district

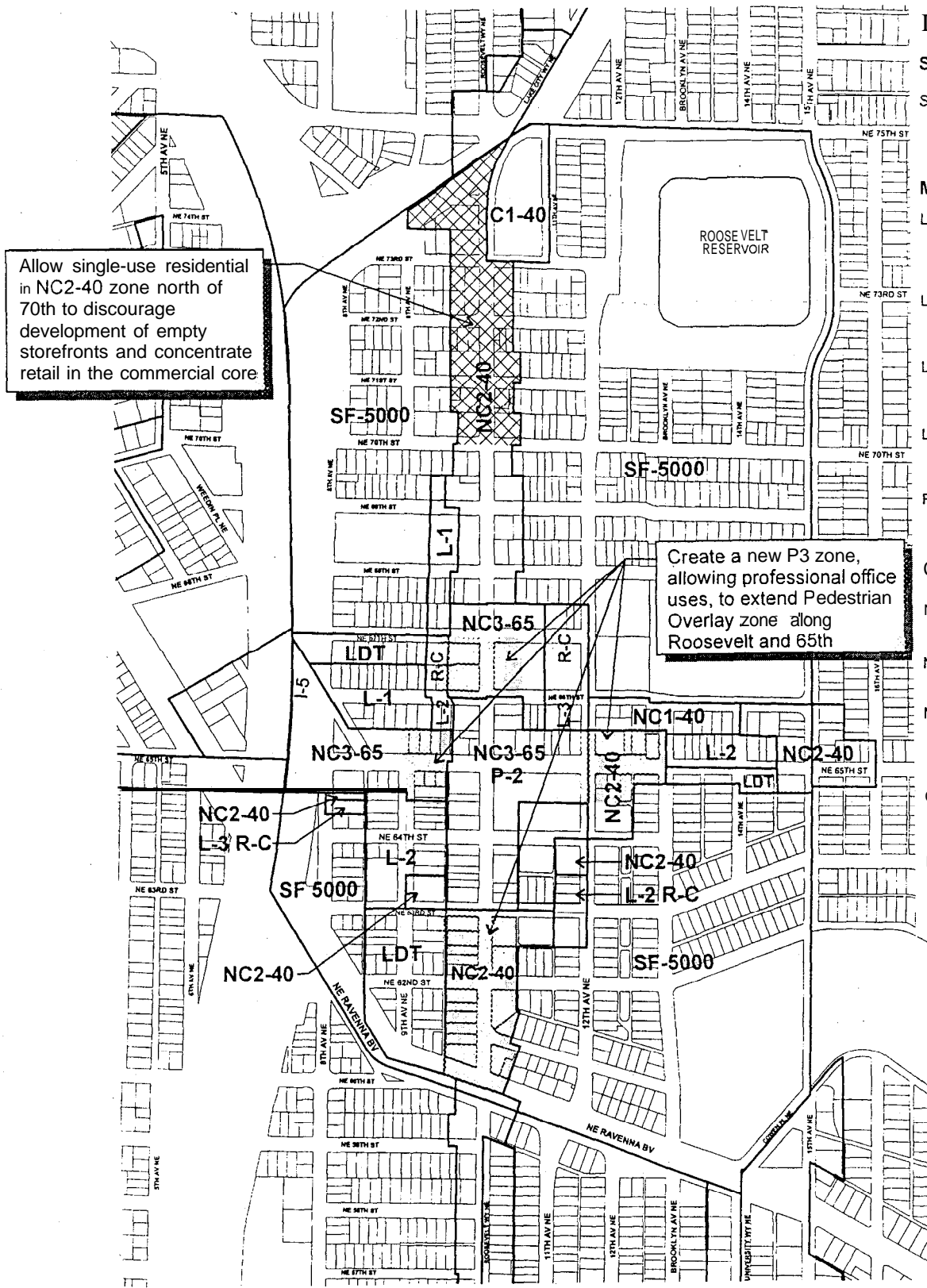
- **Focus Pedestrian-Oriented Retail in the Commercial Core.** In an effort to concentrate retail development in the commercial core and discourage the construction of marginally-viable commercial spaces along Roosevelt Way north of the core, we propose to allow single-use residential development outright in the NC zone north of 70th. (See Figure 11.)
- **Expand Pedestrian Overlay Zone.** Further reinforcement of the pedestrian oriented retail core could be provided by extending the pedestrian overlay along 65th and Roosevelt. Several existing professional office uses, however, are not allowed in the P2 Pedestrian Overlay zone and would be made nonconforming. Tomorrow's Roosevelt proposes creating a new P3 Pedestrian overlay zone that would allow professional office uses. (See Figure 11.)

## **Promotion and Marketing Recommendations:**

Several projects have been identified that could enhance the local business climate and market its image. These include:

- **Signature Event or Festival.** Events such as the University District Street Fair and the Fremont Fair/Solstice Parade are successful models for promoting business areas. While an event of smaller scope may be more realistic for the Roosevelt area, a planned community event should be devised that promotes the local area.
- **Self-Guided Walking Tour.** Consistent with the goals of the community to promote and improve the pedestrian character of the business area, a walking tour and promotional map represent an opportunity to inform visitors to the business area. The map and tour would provide information about local businesses and other points of interest.
- **"Welcome" Packages for New Businesses.** In an effort to help integrate new businesses into the area, a welcome package describing the local community and its promotional activities should be distributed to all new businesses.
- **Place Identity.** The Roosevelt Chamber of Commerce should begin a program to encourage local businesses to identify themselves as part of the Roosevelt neighborhood. In particular, large and high visibility businesses should be encouraged to include "Roosevelt" in their signs.

Likewise, public facilities in the Roosevelt neighborhood, like the Green Lake Reservoir and Green Lake Park-and-Ride should be renamed Roosevelt Reservoir and Roosevelt Park-and-Ride (or at least Roosevelt/Green Lake Park-and-Ride). The proposed light rail station should be located in the commercial core and called Roosevelt Station. Metro, the City, Sound Transit and the State should be encouraged to identify neighborhood facilities as "Roosevelt," on maps, schedules and other materials.



## Legend:

### SINGLE FAMILY

SF-5000 Single family, 5000 sq. ft.  
Minimum lot size. 25-30  
foot height limit, 35% to  
coverage

### MULTI FAMILY

LDT Lowrise duplex/triplex  
1 unit per 2000 sq. ft.  
25 foot height limit.  
35% lot coverage

L-1 1 unit per 1600 sq. ft.  
25 foot height limit.  
40% lot coverage.

L-2 1 unit per 1200 sq. ft.  
25 foot height limit.  
40% lot coverage.

L-3 1 unit per 800 sq. ft.  
30 foot height limit.  
45% lot coverage.

R-C Limited commercial uses  
allowed in residential  
structures

### COMMERCIAL

NCI-40 40 foot height limit, 100%  
lot coverage.

NC2-40 40 foot height limit, 100%  
lot coverage.

NC3-65 Neighborhood  
commercial, 65 foot  
height limit, 100% lot  
coverage.

CI-40 Commercial 40 foot  
height limit, 100% tot  
coverage.

P-2 Parking requirements  
reduced and street level  
frontage required to be  
retail, service or office

Figure 11: Zoning Changes to Reinforce the Commercial Core

## Physical Improvement and Planning Recommendations:

- **Gateway/Streetscape Treatments.** Roosevelt's identity could be strengthened by signature gateway treatments at the major entrances to the neighborhood. These gateways could include surface treatments-such as curb bulbs, street trees, special paving, artwork, and signage-or structures spanning the streets: like an archway. The entrances on Roosevelt at 75th and on 12th at Ravenna could make use of existing traffic islands. The entrance on 65th at 8th could possibly use the freeway underpass as a gateway, hanging banners, artwork or signage off the bottom of the freeway superstructure. Likewise, streetscape treatments on the key commercial streets will promote Roosevelt's identity and improve the business district's appearance.
- **Commercial Pedestrian Environment.** NE 65th Street and Roosevelt Way NE are primarily retail commercial streets with generally narrow sidewalks, limiting the opportunities for window shopping, sidewalk cafes, and street amenities. The narrow sidewalks combined with the high volumes of traffic create a less-than-ideal pedestrian shopping environment. On these streets, narrowing lanes widths to create wider sidewalks would substantially improve the street environment. Wider sidewalks would also create more room for street trees, benches, kiosks, bus stops, and other elements of a unified streetscape treatment.

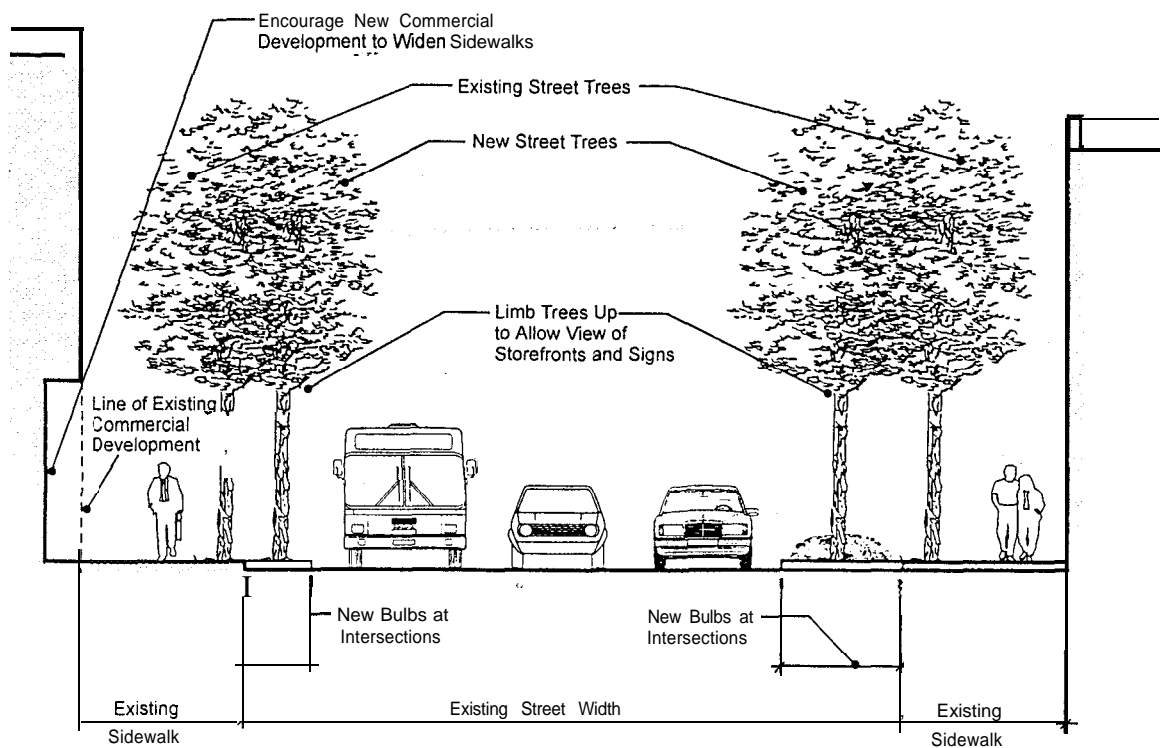


Figure 12: Typical Section, Commercial Area Street/Intersection

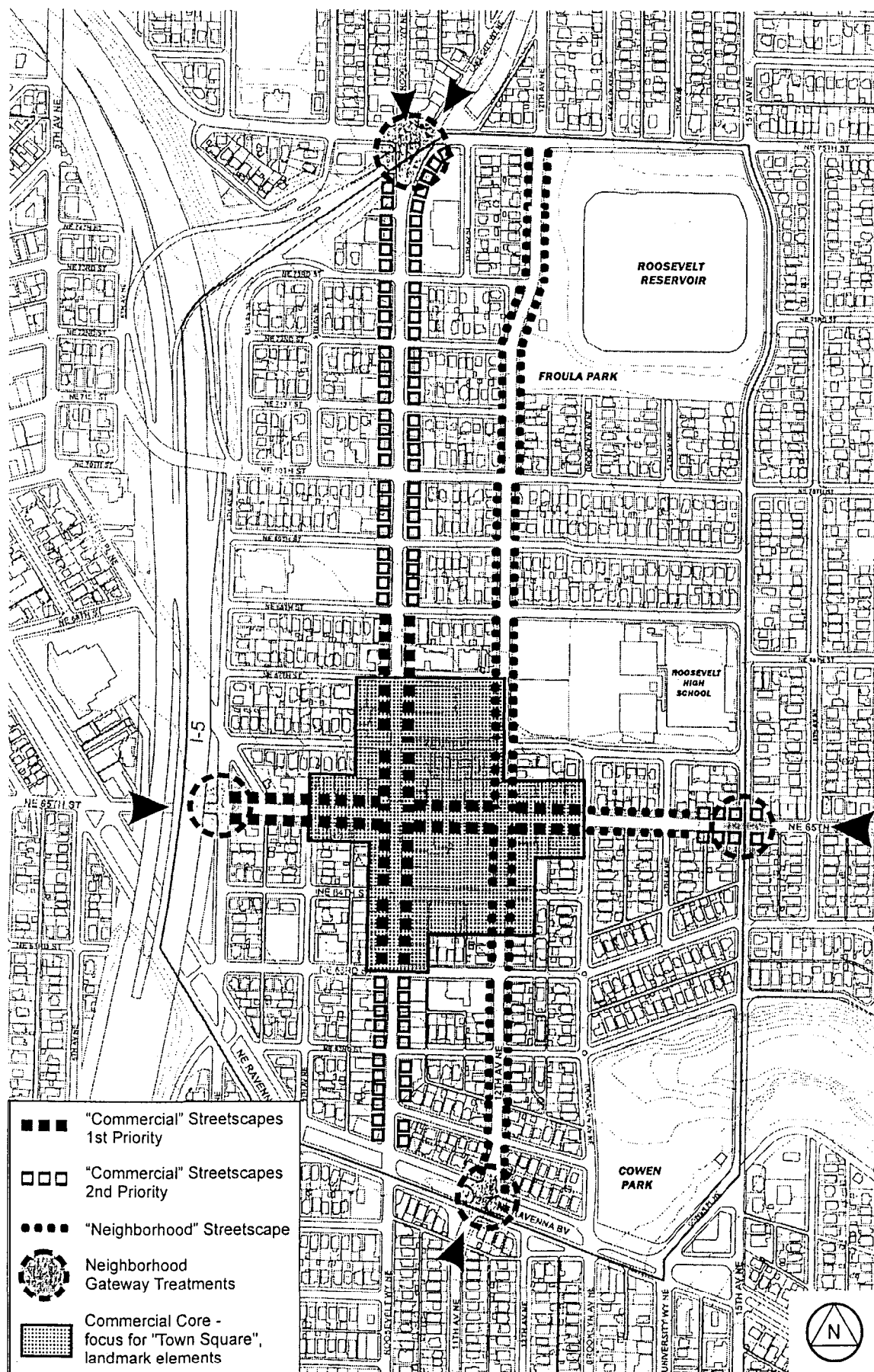


Figure 13: Commercial Core Identity Elements

- **Façade Improvement Program.** Efforts to improve the business area's identity could benefit by improving the physical appearance of existing storefronts. Contacts have been made with local banks and representatives from their community investment programs. At present, both U.S. Bank and Seafirst have indicated a strong willingness to participate in such a program.

The financial terms noted above are designed to be attractive to both business tenants and building owners. As a result, improvement projects must be supported by both proprietors and landlords.



Figure 14: Blank Facades Along Roosevelt Way NE

- **Planning for Sound Transit.** Construction of Sound Transit's light rail network, whether in Phase I or Phase II, will offer both significant opportunities and challenges for economic development within the Roosevelt community. The two station locations still being considered have very different potentials for transit-oriented development that will reinforce Roosevelt's commercial core. (See Figure 15.) As plans for Sound Transit's system are completed, it will be essential that concerted efforts are made to coordinate potential impacts and benefits to local businesses. During what could be a lengthy period of construction, it will be necessary to maintain pedestrian and vehicle access to Roosevelt's business district. In addition, for businesses such as restaurants and specialty retail stores which depend on customers from outside the immediate community, access to suitable parking is also a key issue. (See also Light Rail Station, page 5 1.)

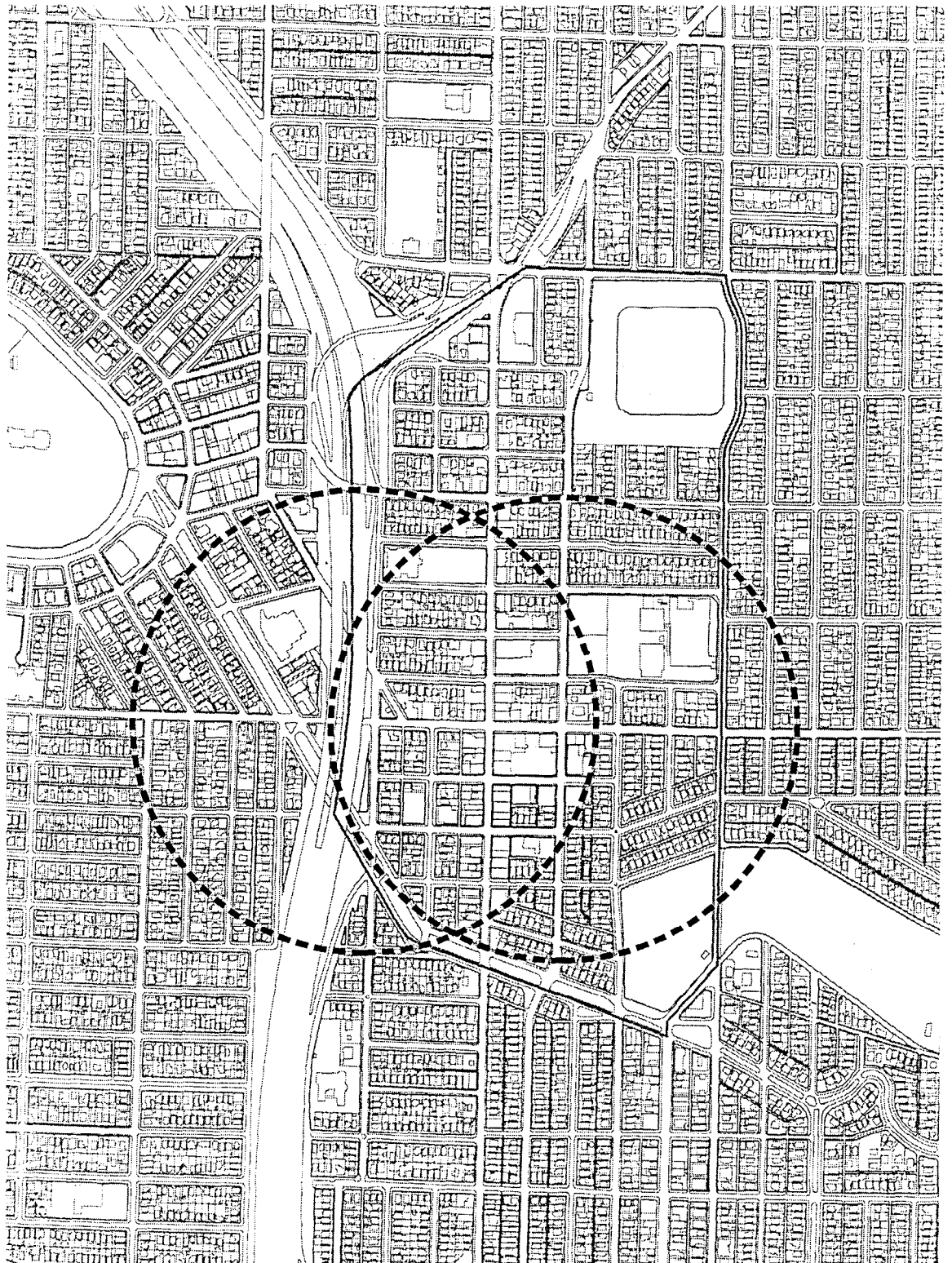


Figure 15: Quarter-Mile Radii Around Potential Light Rail Station Sites At 8<sup>th</sup> & 65<sup>th</sup> And 12<sup>th</sup> & 65<sup>th</sup>



## B. Urban Design

Improving the character of the Roosevelt neighborhood through a coordinated urban design program of physical improvements and guidelines for future development is an important component of this plan. This section includes a description of the neighborhood's urban design issues, problems, and improvement recommendations.

### **Vision:**

Roosevelt is an aesthetically pleasing community with attractive streetscapes, interesting storefronts, comfortable residences, and flourishing parks.

### **Existing Conditions**

The urban context of Roosevelt is heavily impacted by traffic, including the major barrier formed by I-5 and the busy arterials through and around the neighborhood. The solid retail core is surrounded by mixed commercial and multifamily development.

Outside of the commercial core the neighborhood is characterized by older single-family homes, typically in a craftsman bungalow style. Two institutions, the Calvary Temple and Roosevelt High School, provide landmarks and complete the built fabric of the neighborhood.

Major open spaces occupy the northeast (Green Lake - now Roosevelt - Reservoir and Froula Park) and southeast (Cowen Park) corners of the neighborhood, although most of the open space around the reservoir is not publicly accessible. The Roosevelt High School playfields provide another open space. NE Ravenna Boulevard, part of Seattle's Olmsted parks legacy, lines the southern border of the neighborhood and provides a connection to Green Lake, about one half mile to the northwest. (See Figure 16.)

The neighborhood plan seeks to identify opportunities for physical improvements that will improve the area's image and livability. In this process, five areas stand out. These are: neighborhood identity, the pedestrian environment, community gathering spaces, design guidelines, and Roosevelt High School design issues.



Figure 16: Urban Design Context



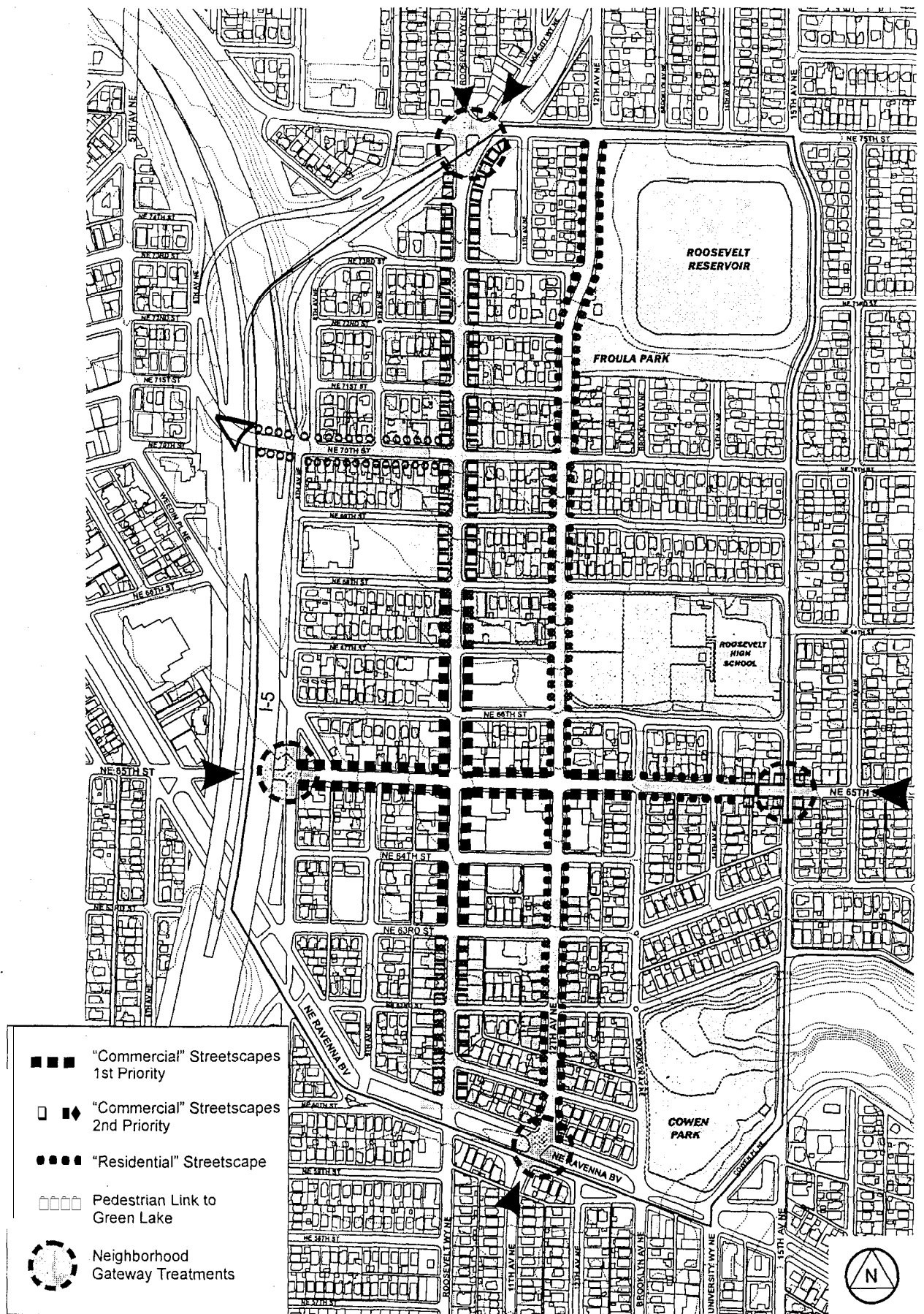


Figure 18: Neighborhood Identity Elements and Pedestrian Improvements

## Pedestrian Environment

### Goal:

Improve the pedestrian environment along Roosevelt's Key Pedestrian Streets.

### Issues:

Improvement to the neighborhood's pedestrian environment is a high priority. Strategies for pedestrian improvements have been divided among arterials that are predominantly residential (12th Avenue NE and 15th Avenue NE) or commercial (NE 65th Street and Roosevelt Way NE), and the connection to Green Lake on NE 70th Street.

Improving the pedestrian environment in Roosevelt is closely tied to transportation solutions designed to reduce speed along the neighborhood's major arterials.

### Recommendations:

- **Curb Bulbs.** Constructing curb bulbs, which extend the sidewalk into the street at intersections will enhance the pedestrian environment in several ways:
  - They improve pedestrian convenience in the retail area by making it easier for business area shoppers-especially children, seniors, and the handicapped-to cross busy streets.
  - They create potential space for landscaping and street furniture, which can be an important element in improving the area's visual image.
  - They reduce the visual width of the street and help slow traffic. (See also page 48.)

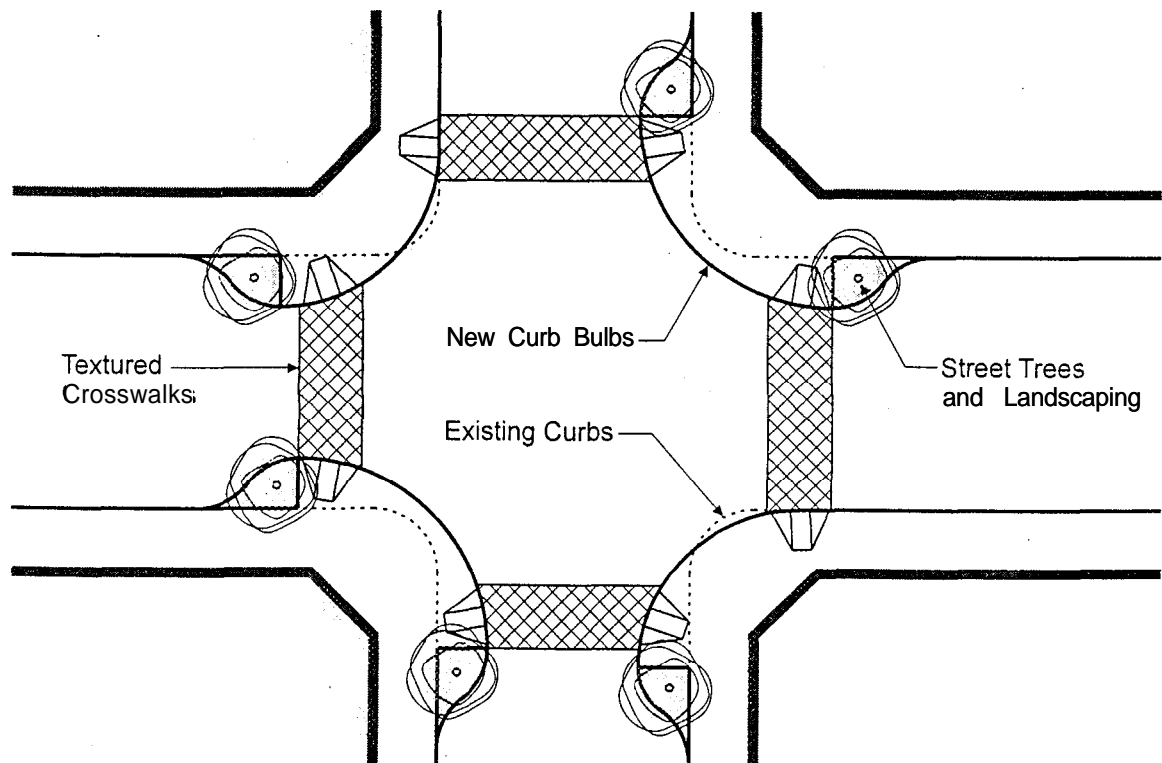


Figure 19: Typical Curb Bulb/Crosswalk Plan

- **Improved Crosswalks.** Providing special crosswalk treatments, like textured concrete or unit-paver crosswalks, will help define the business area's pedestrian domain. The purpose of this recommendation is to help slow traffic on arterial connections by giving drivers visual signals that the commercial core is a pedestrian priority area.
- **Residential Pedestrian Environment.** 12th Avenue NE and 15th Avenue NE are primarily residential in nature, except for some commercial uses at the intersection with NE 65th Street. A street cross-section with sidewalks separated from the street by a continuous planting strip and street trees would reinforce the street's residential nature. 12th Avenue NE currently has insufficient room between the curb and the property line for a continuous planting strip and sidewalk. Preliminary traffic analysis has shown that lane widths on 12th could be reduced to create room for a continuous planting strip and street trees, preferably on both sides of the street. (See Figure 20.)

Maintaining lane widths on 15th Avenue NE would allow bicycles and cars to continue to share the roadway more comfortably. Additional planting of street trees in the existing planting strips (where available) and on private property behind the sidewalk (with cooperation of the property owners) would enhance the street as a residential pedestrian street.

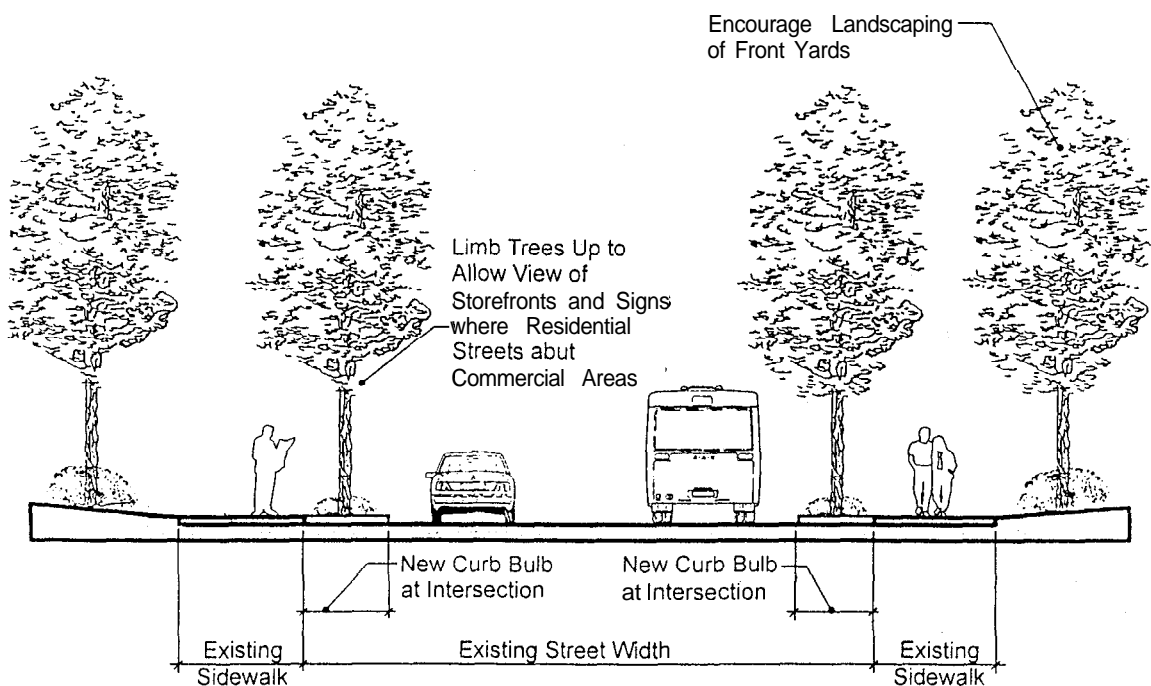


Figure 20: Typical Section, Residential Area Street/Intersection

- ❑ Pedestrian Connection to Green Lake. While the southern half of Roosevelt is well connected to Green Lake via NE Ravenna Boulevard, the northern part of the neighborhood has only an automobile-oriented overpass on NE 70<sup>th</sup> Street. East of 12<sup>th</sup> Avenue NE, NE 70<sup>th</sup> Street has been treated with flowering cherry trees planted in chicanes to slow traffic. (See Figure 21). West of 12<sup>th</sup> Avenue NE chicanes would not be appropriate, but other improvements could enhance the pedestrian connection to the Green Lake neighborhood.

The pavement width on NE 70<sup>th</sup> Street varies along its length. Between I-5 and Roosevelt Way NE it is 40 feet wide (curb-to-curb). East of Roosevelt Way it narrows to 36 feet, narrowing again east of 12<sup>th</sup> Avenue NE to 24 feet. The widths from curb to back of sidewalk are typically 10 feet, with a 5-foot sidewalk and a 5-foot planting strip. The street corridor could become a major pedestrian and bicycle connection between the Roosevelt and Green Lake neighborhoods with the following improvements:

- Install street trees in the existing planting strip on NE 70<sup>th</sup> Street. Use flowering cherry trees to continue the treatment east of 12<sup>th</sup> Ave. NE
- Narrow the traffic lane width of NE 70<sup>th</sup> Street between I-5 and Roosevelt Way to 36 feet; two travel lanes with parallel parking on both sides of the road.
- Provide clear signage to direct pedestrians.
- Provide benches and other pedestrian amenities east of 8th Avenue NE.

The Green Lake 2020 Neighborhood Plan also calls for developing this pedestrian link.



Figure 21: NE 70th Street West of Roosevelt Way NE

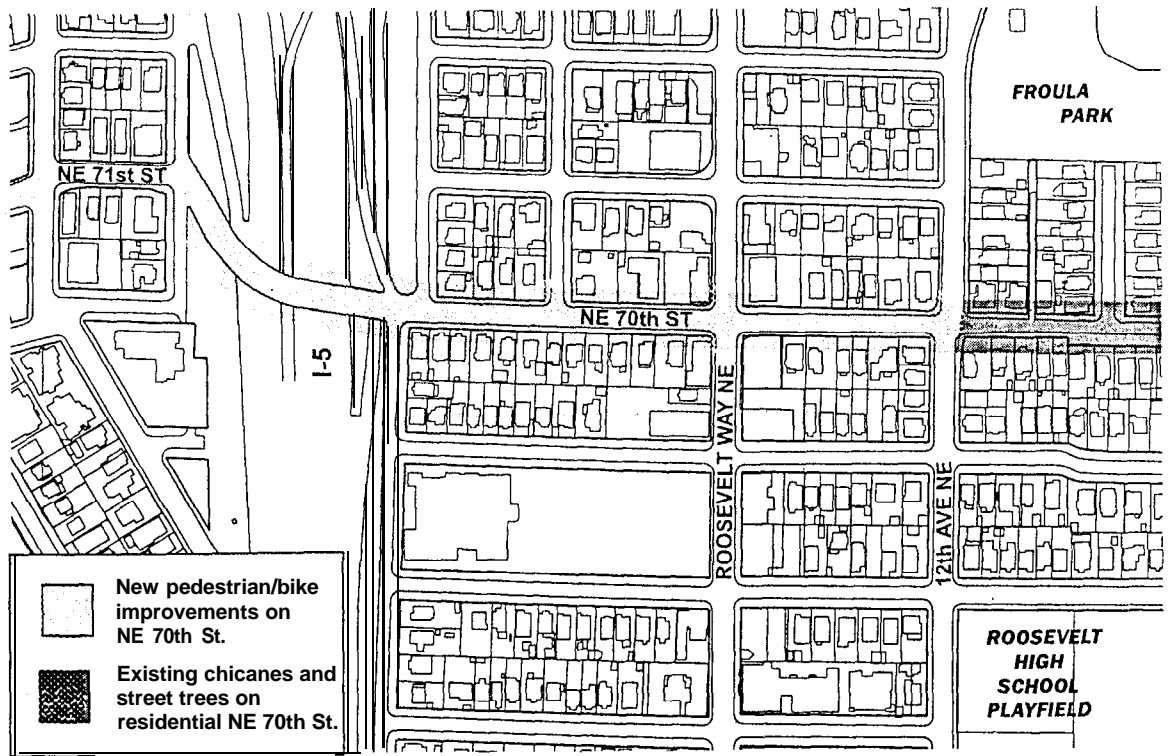


Figure 22: Map of NE 70<sup>th</sup> Street Corridor



## Community Gathering Spaces

---

### Goals:

Provide better places for community gatherings, including both open spaces and neighborhood meeting places.

### Issues:

The neighborhood has no consistently available or dedicated indoor locations or open spaces in which to hold community meetings and events. There is also a need to make the community's existing parks more accessible and usable for local residents.

### Recommendations:

- **Cowen Park.** The Cowen Park Master Plan completed through a Neighborhood Matching Fund grant sponsored by the Roosevelt Neighborhood Association, should be implemented. (See Figure 23.) The first phase of the Master Plan, a new play area, has been completed. Items still to be implemented include:
  - Completion of the “Adventure Play” Area.
  - Entry treatments at NE 62nd Street & Brooklyn Avenue NE, Brooklyn Avenue NE & NE 61st Street, NE Ravenna Boulevard & Brooklyn Avenue NE, Cowen Place NE & NE Ravenna Boulevard, and 15th Avenue NE & Cowen Place NE.
  - Enhanced edge treatments along NE 62nd Street, Brooklyn Avenue NE, NE Ravenna Boulevard, and Cowen Place NE, including landscaping and paths.
  - Group Picnic Area including picnic tables and possibly a framework for installing a temporary shelter.
  - Stream development including landscaping, stones, ravine forest enhancement, and overlook decks with interpretive signage.
  - Under-bridge improvements including paved areas, art, and stairs.
  - Community use of the park structure at 15th Avenue NE and Cowen Place NE.
  - Better pedestrian crossings at Cowen Place and 15th Avenue.
- **Froula Park.** A number of improvements are recommended for Froula Park. Pedestrian crossings leading to the park across 12th and 15th Avenues NE need to be improved, including the possible installation of a flashing beacon at 12th Avenue NE and NE 72nd Street. The park's landscaping should also be enhanced, in both the park proper and the adjacent Water Department property. The park's play structures should be upgraded or replaced. In addition, the possibility of providing community garden space in some of the underutilized areas of Froula Park should be explored.



- Roosevelt Reservoir (previously called Green Lake Reservoir). More community use of Froula Park could occur with the covering of the reservoir planned to take place between 2010 and 2020. Complete lidding of the reservoir could provide additional neighborhood open space, but the cost of a structural lid is about double that of the floating membrane lid now being recommended by the Water Department. The neighborhood should actively pursue early involvement in this planning process and encourage the Water Department to consider the visual impact and required mitigation measures needed to make the floating membrane approach acceptable to the community. These mitigation measures could add substantially to the cost of the floating membrane solution and make reservoir lidding a potentially practical solution.
- Open Spaces in Conjunction with Large Developments. Additional public gathering places could be developed in conjunction with large commercial or residential projects, as is being done at Roosevelt Square. One proposal is to allow additional square footage or more housing units for large developments that provide open space for public use. Another is to encourage developments to meet open space requirements with ground-level gardens and plazas instead of balconies and roof decks, or to allow developers to pay a fee in lieu of providing on-site open space, with proceeds going toward purchase or development of public open space.
- “Town Square.” There is strong support for a central, public “Town Square” plaza surrounded by pedestrian-oriented retail and community facilities. Such a space could be developed in conjunction with a light rail station entrance near 65th and Roosevelt (see the Roosevelt Town Center Key Strategy, page 57, for further development).
- Neighborhood Center/Meeting Place(s). There is a need for year-round meeting places for community groups. The immediate need is for a simple accessible meeting space that will accommodate groups of 5 to 150 people. In the long run, office, display and storage space for community organizations, basic food preparation facilities, and facilities suitable for community arts exhibitions, workshops and performances would be desirable. Several potential strategies for meeting this need include:
  - A community meeting room incorporated into a commercial development, as at the U-Village QFC, could be developed.
  - The neighborhood and the School District could work to include a community meeting space, possibly as part of an arts/performance center, in the plans for renovating Roosevelt High School, currently scheduled for 2004 to 2006.
  - A public neighborhood center could be developed in coordination with plans for a Roosevelt light rail station, if located in the commercial core. (See Roosevelt Town Center Key Strategy, page 57.)
  - The neighborhood could work with the Parks and Water Departments to explore remodeling the existing buildings in Cowen Park or at the Green Lake reservoir adjacent to Froula Park.

## Roosevelt High School Design Issues

---

### Vision:

Roosevelt High School is a major community landmark and institution. The school should be a positive element of the community and its physical fabric. The community and school district should work together to make this vision a reality.

### Issue:

There are several issues related to Roosevelt High School, some of which can be addressed in the planned renovations, currently scheduled for 2004 to 2006, and some which could be addressed in the interim. It is critically important that the community be involved in the school's renovation plans from the earliest stage.

### Recommendations:

- **Planning for School Renovations:** Several issues should be addressed jointly by the neighborhood and the school as renovation plans are developed, including parking, neighborhood use of school facilities, and ways of accommodating area youth.
- **Joint-Use Performing Arts Center:** The neighborhood's desire for a meeting place that could accommodate public performances (see Neighborhood Meeting Places) could mesh well with the Roosevelt High School's Arts emphasis.
- **School Kitchen:** One concern that could be addressed prior to the school renovations is the use of the school's kitchen as a central cooking facility for other district schools and the impact of this use (traffic volumes, noise, etc.) on the single-family residences across NE 68th Street. The School District should be encouraged to relocate this function to a more appropriate commercial or industrial location.
- **Playfield Wall:** Another problem that could be tackled immediately is improving the appearance of the playfield retaining wall along 12th Avenue NE. A joint project between the school and the neighborhood could do much to improve the impact of this blank wall on the community.

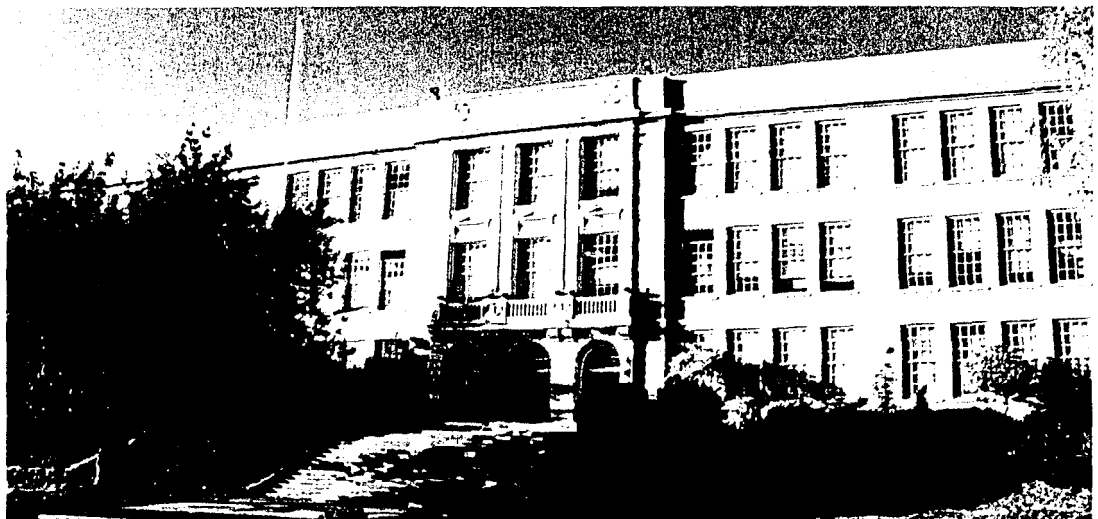


Figure 24: Roosevelt High School

## Design Guidelines

### Goal:

Encourage new development that complements Roosevelt's character.

### Issues:

The neighborhood planning process creates an opportunity to develop design guidelines to better protect Roosevelt's character and moderate the impact of new development. These will supplement the existing city-wide design guidelines and be tailored to specific conditions and concerns in Roosevelt.

### Recommendations:

Tomorrow's Roosevelt recommends adoption of the design guidelines from the 1992 Roosevelt Neighborhood Plan. (See Appendix 1.) The following guidelines are added to supplement the 1992 design guidelines, which contain additional guidelines on transition zones and façade upgrades, plus guidelines for signs, pedestrian environment and parking lot landscaping.

- **Lower Thresholds.** We propose to reduce the size of projects required to go through the design review process to include all lowrise developments of more than three units and all commercial developments of more than 2500 square feet. This would address projects such as the recent building on the southeast corner of 16th and 65th and provide a more consistent level of design and construction quality. Some of the key issues to address through design guidelines:
- **Transition Zones.** Encourage NC3-65 developments to step down where they abut residential zones with lower building heights (see fig. 19).

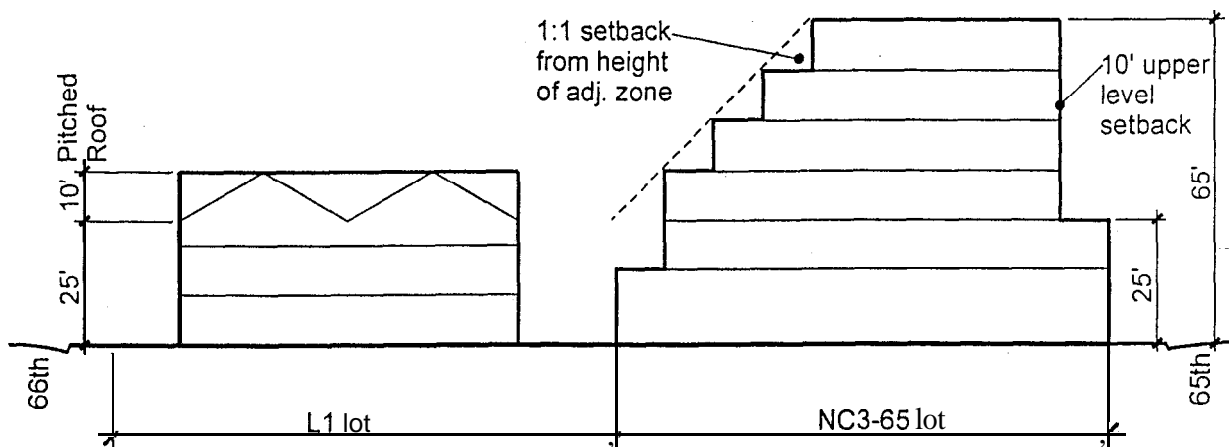


Figure 25: Transitions at Abutting Residential Zones and Upper-Level Setbacks on Streetfront Facades

- **Facade Upgrades.** Establish additional standards for developing varied, pedestrian-friendly street facades to avoid blank facades (see below), and encourage upper level setbacks on streetfront facades to make new developments fit better with existing buildings and allow more light and sun to reach the street (see below).

**-Guidelines for Existing Buildings:**

- Do not cover over original facade materials such as brick or tile.
- Retain or replicate original window frames and facade features.
- Provide pedestrian weather protection.
- Fit signs to architectural features and styles.

**-Guidelines for New Buildings:**

- Provide pedestrian-oriented activities and facades at ground level.
- Set back building entry at ground level to provide for activity and pedestrian movement.
- Provide pedestrian weather protection.
- Include windows with articulated frames or molding.
- Organize the building form into too (roof or cornice line), middle, and bottom (ground floor).
- Include special features, such as tower, plaza, corner entry, sculpture, etc., at street corners.
- Incorporate special details, materials, or features to add refinement and human scale.
- Integrate signage into architecture.
- Maintain a continuous facade. Do not allow fences or impermeable walls.

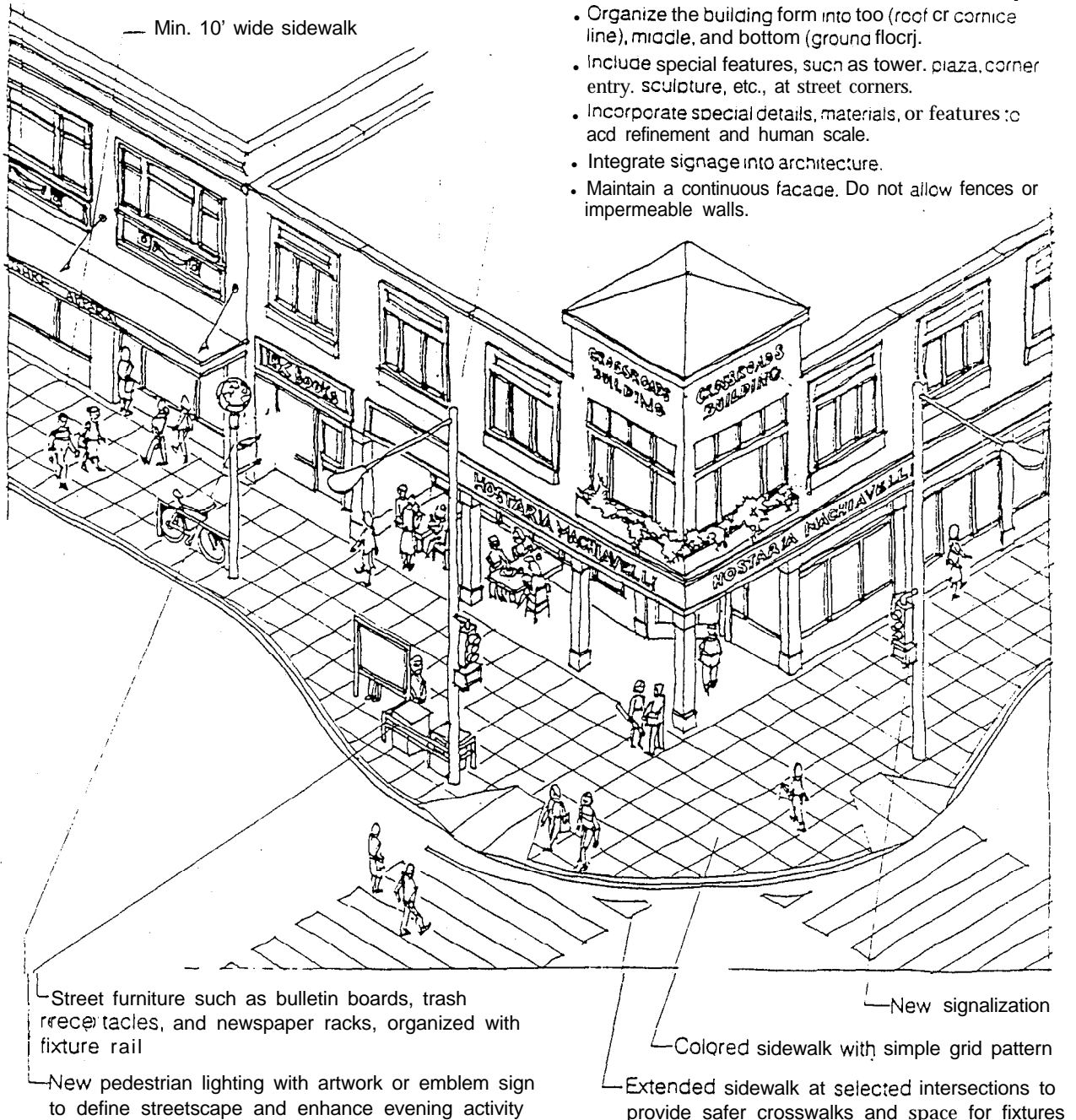


Figure 26: Guidelines for Façade and Streetscape improvements on New and Existing Buildings